

RESOLUTION OF BOSTON REDEVELOPMENT AUTHORITY  
RE: PROPOSED PRICES FOR DISPOSITION PARCELS  
IN THE WASHINGTON PARK URBAN RENEWAL AREA  
PROJECT NO. MASS. R-24

WHEREAS, the Boston Redevelopment Authority, hereinafter referred to as the "Authority" has entered into a contract for loan and grant with the Federal Government under Title I of the Housing Act of 1949, as amended which contract provides for financial assistance to the hereinafter identified project; and

WHEREAS, the Urban Renewal Plan for the Washington Park Urban Renewal Area, Project No. Mass. R-24, hereinafter referred to as the "Project Area," has been duly reviewed and approved in full compliance with local, state, and federal law; and

WHEREAS, the Authority is cognizant of the conditions that are imposed in the undertaking and carrying out of urban renewal projects with federal financial assistance under said Title I, including those prohibiting discrimination because of race, color, creed or national origin; and

WHEREAS, two (2) independent reuse appraisals of the value of the lots and fringe parcels listed hereon, for uses in accordance with the objectives and controls of the Urban Renewal Plan for the Project Area have been obtained;

NOW, THEREFORE, BE IT RESOLVED BY THE BOSTON REDEVELOPMENT AUTHORITY:

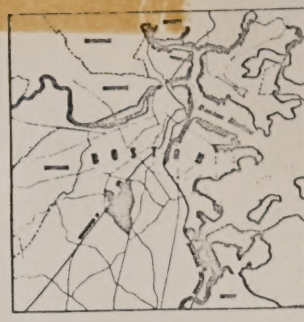
THAT the following proposed prices are hereby approved and determined to be not less than the fair value of the parcels for use in accordance with the Urban Renewal Plan for the Project Area:

<u>Disposition Parcels</u>		<u>Minimum Disposition Price</u>
L-19	(13 Homestead Street)	\$ 500
L-25	(44 Maple Street)	1700
L-26	(23 Schuyler Street)	1000
L-27	(70 Brookledge Street)	1500
L-29	(165 Harrishof Street)	500
S-10	(cor. Fenner and Cardington St.)	25
S-13	(cor. Holworthy(N) and Harold (E) St.)	100
S-15	(cor. adjoining 123 Howland Street)	100
S-23	(portion of 89 Waumbeck Street)	75
S-24	(48 Rockland Street)	125
S-26a	(portion of 23 Rockland Avenue)	150
S-26c	(portion of 25 Rockland Avenue)	25

Washington Park Urban Renewal Area R-24  
Summary of Re-use Appraisal Data pertaining to:  
Vacant Lots and Fringe Parcels

<u>Parcel</u>	<u>Area in Sq. Ft.</u>	<u>1st Reuse Appraisal</u>	<u>2nd Reuse Appraisal</u>	<u>Recommended Disposition Price</u>
L-19	4118	\$ 750	\$ 420	\$ 500
L-25	10434	1700	1715	1700
L-26	5555	1100	980	1000
L-27	9600	1500	1470	1500
L-29	4293	650	420	500
S-10	6600	25	150	100
S-13	4600	50	150	100
S-15	832	25	25	25
S-23	1545	25	100	75
S-24	2688	100	200	125
S-26a	3480	175	125	150
S-26c	540	35	20	25





- SITE BOUNDARY
- SITE DESIGNATION
- housing
  - commercial facilities
  - industrial facilities
  - institutional facilities
  - public facilities
  - public recreation areas
  - minor adjustments of property lines and rights of way
- PROJECT BOUNDARY
- PROPOSED LAND USE
- residential
  - commercial
  - industrial
  - institutional
  - public open space

PROPOSED LAND USE PLAN

DATE	11-1-63	BY	ALF
REVISION	11-1-63	BY	ALF
SCALE	1" = 200'	DATE	11-1-63
PROJECT	WASHINGTON PARK URBAN RENEWAL AREA R-24		
DATE	9-3-63	BY	ALF

WASHINGTON PARK URBAN RENEWAL AREA R-24

EDITION REDEVELOPMENT AUTHORITY



